

MANASQUAN PLANNING BOARD MEETING AGENDA

FEBRUARY 07, 2023 7:00 PM – TUESDAY

Please take notice that the Manasquan Planning Board will convene an in person meeting on February 07, 2023 7:00 PM at Borough Hall, Second Floor, 201 East Main Street, Manasquan, New Jersey. As a courtesy to the public this meeting may be attended via zoom. If the zoom meeting fails or gets disconnected the in-person meeting will continue without the zoom participants. You can access the meeting through the Zoom App by following the link below for your computer or phone.

Join Zoom Meeting

<https://us06web.zoom.us/j/8243299920?pwd=QUxNUjlGbkNLQS9TRVBIWHVtbUd3Zz09>

OR

Tel – 1-646 876 9923 US (New York)

Meeting ID: 824 329 9920

Passcode: 365120

PUBLIC MEETING

Salute to the Flag

Roll Call

Sunshine Law Announcement

OLD/NEW BUSINESS

1. Vouchers
2. Approval - Regular Meeting Minutes - December 6, 2022

RESOLUTION

3. #12-2023 Stewart, Michael - 19 James Place - Block 44.03 Lot 1 - Application #17-2022
4. #13-2023 Sepe, Bill - 35 Deep Creek Drive - Block 189.01 Lot 6.02 - Application #18-2022

APPLICATION

5. #19-2022 Gaszynski, Donna & Ray - 314 E. Main Street - Block 113 Lot 6
6. #20-2022 Liskowitz, Stephanie & John - 126 Morris Avenue- Block 73 Lot 62 & 95

INFORMAL

7. Cresitello, Donald - 29-31, 37 & 37 1/2 Taylor Avenue

OTHER BUSINESS

Comments from individual board members

ADJOURNMENT

December 13, 2022

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFG _____

DEC 16 2022

DPW _____ CONST _____
PD _____ OTHER _____

Re: Boro File No. MSPB-R1970
Variance – Gaszynski
Block 113, Lot 6
314 East Main Street
R-1 Single-Family Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Architectural Floor Plans, Elevations and Site Diagram prepared by Brian Collis, RA, of Brian M. Collis Architecture, dated October 25, 2022.
2. Property Survey prepared by Greg Gaffney, PLS, dated September 11, 2015.

The property is located in the R-1 Single-Family Residential Zone with frontage on East Main Street. With this application, the applicant proposes to construct a new second floor addition and interior renovations to the existing dwelling. The application is deemed complete on December 13, 2022.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-1 Single Family Residential Zone.
2. The following use ('d') variance is required as part of this application:
 - a. Only one single family residential dwelling per lot is permitted, whereas two detached residential dwelling units exist and are proposed.
3. The following non-conformities exist on Lot 6 and are not proposed to be modified as part of this application:
 - a. A minimum side yard setback of 5 feet is required, whereas a setback of 2.8 feet exists and is proposed to the front dwelling (west).
 - b. A minimum rear yard setback of 35 feet is required, whereas a setback of approximately 2 feet exists and is proposed to the rear dwelling.




Re: Boro File No. MSPB-R1970
Variance – Gaszynski
Block 113, Lot 6

December 13, 2022
Sheet 2

- c. A minimum side yard setback of 5 feet is required, whereas a setback of approximately 3 feet exists and is proposed to the rear dwelling (east).
 - d. A maximum building coverage of 25% is permitted, whereas a coverage of 27.57% exists and is proposed.
4. The base flood elevation for the property is 9 (Zone AE). The architectural plans should be revised to indicate the existing and proposed finish floor elevation in relation to the BFE.
 5. The proposed addition will not affect the building height which will still conform to the ordinance requirements.
 6. The applicant should indicate if any new air conditioning units or generator are proposed and if so, show their proposed locations and elevations on the plan.
 7. A drainage recharge system in accordance with the Borough's stormwater ordinance is not required as the proposed additions do not increase the building coverage by more than 500 square feet.
 8. It does not appear that any existing trees will be removed as part of the application.
 9. Any curb and sidewalk must be replaced along East Main Street as necessary.

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,



ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy

cc: George McGill, esq., Planning Board Attorney
Brian Collis, RA
128 John Street, Brick, NJ 08724
Donna Gaszynski
314 East Main Street, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: Donna & Ray Gaszynski
*Applicant's Address: 314 E. main st Manasquan, NJ 08736

*Telephone Number: Home: _____ Cell: 908-216-1120

*e-mail Address: doraaajss@aol.com

*Property Location: 314 E. main st

*Block: 113 Lot: 6

*Type of Application: Bulk Variance & Use
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-
Site Plan Approval

*Date of Zoning Officer's Denial Letter: 11/14/22
Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? yes

*Does the Applicant own any adjoining land? no

*Are the property taxes paid to date? yes

*Have there been any previous applications to the Planning Board concerning this property? _____
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this
property? no

(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this
application by any experts retained by the Planning Board for advice in this matter.

Donna Gaszynski
Signature of Applicant or Agent

11/28/22
Date

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DIROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

November 14, 2022

Donna Gaszynski
314 East Main Street
Manasquan, NJ 08736

Re: Block: 113 Lot: 6 Zone: R-1 Flood Zone: AE BFE: 9ft. DFE: 10ft.
314 – 314 ½ East Main Street

Dear Ms. Gaszynski:

On this date we reviewed your application for the following project.

Construct a second floor addition over the existing building footprint and other interior alterations and renovations of the front dwelling.

Application denied for the following reason(s):

Section 35-5.3 – R-1 Permitted Use – Only one single family dwelling permitted
Two single family dwellings existing

Section 35-9.4 – Building Coverage – 25% Permitted
27.5 % Existing and proposed

Rear Dwelling:

Section 35-9.4 – Rear Setback – 35ft. Required
2ft. Existing

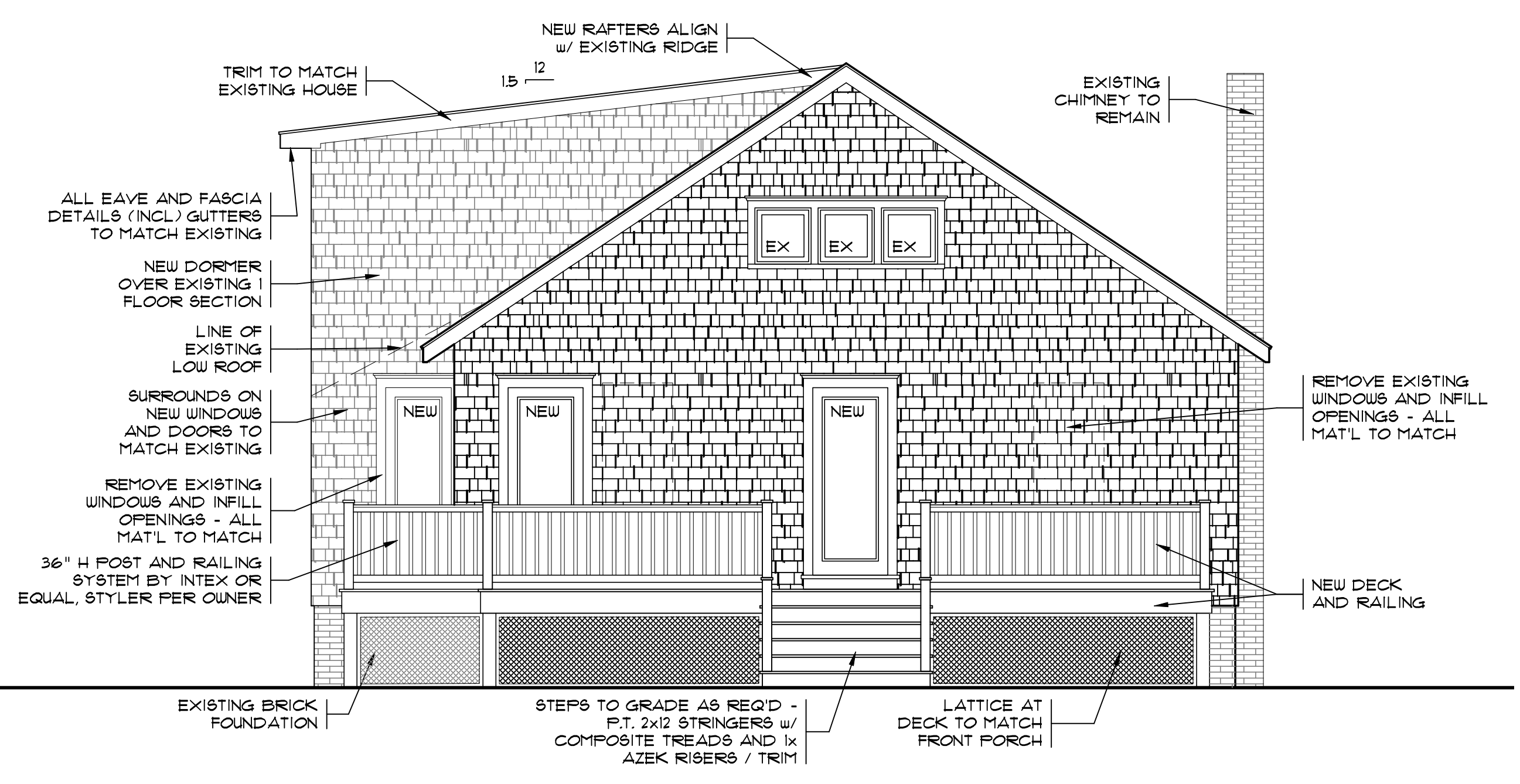
“ - Side Setback (Right) – 5ft. Required
3ft. Existing

If you have any questions, please call me at 732-223-0544, ext. 256

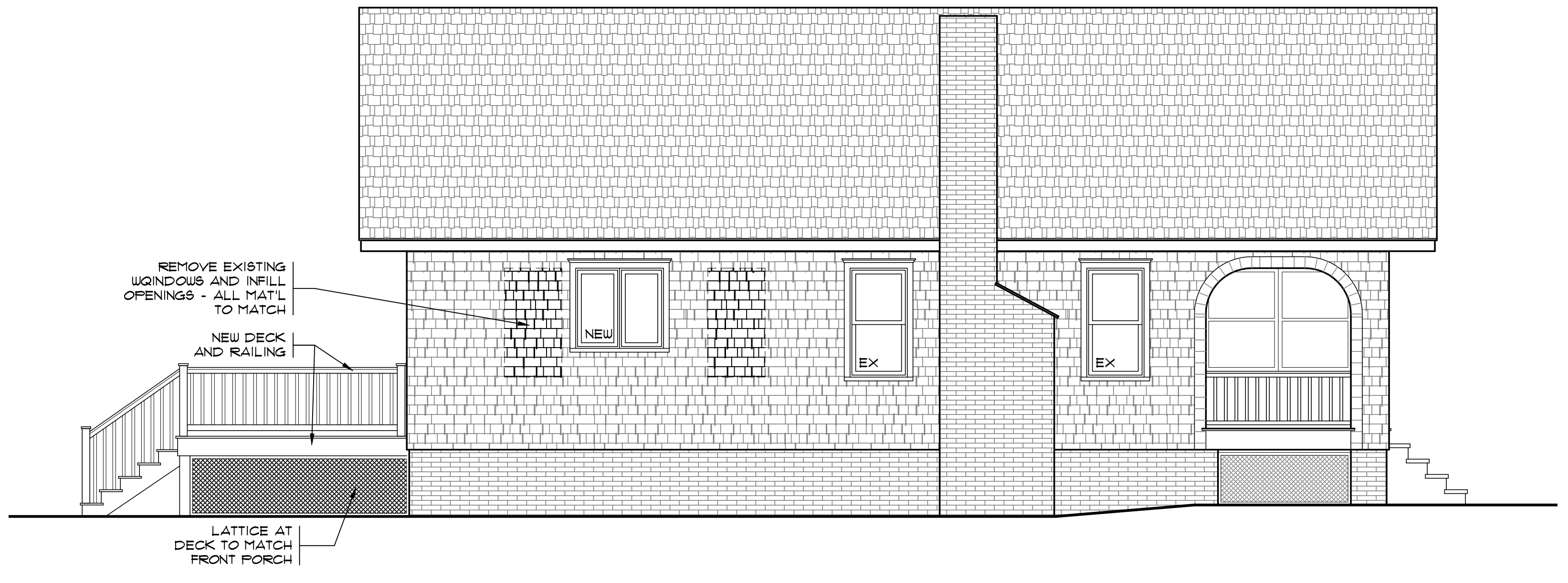
Sincerely,

A handwritten signature in black ink, appearing to read "R. Furey". The signature is written in a cursive style with a large initial "R" and a long, sweeping underline.

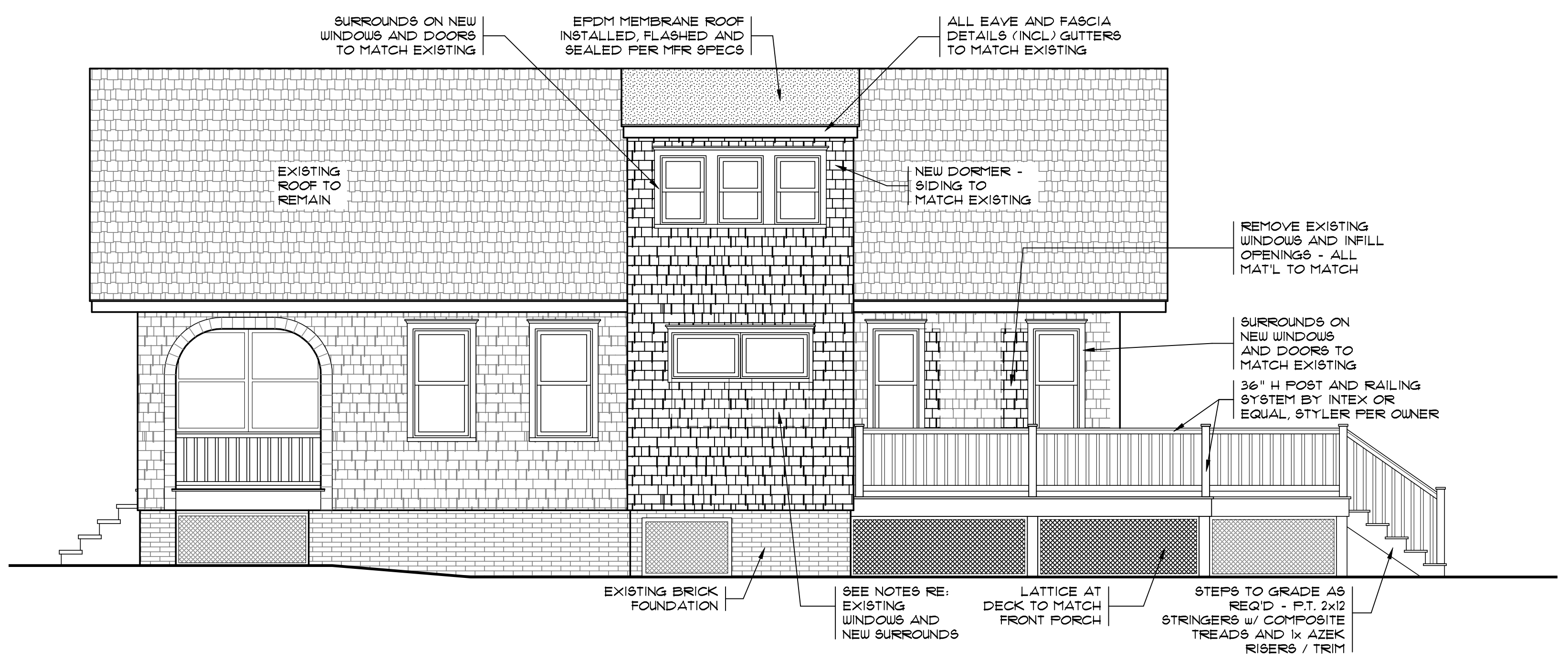
Richard Furey
Zoning/Code Enforcement Officer



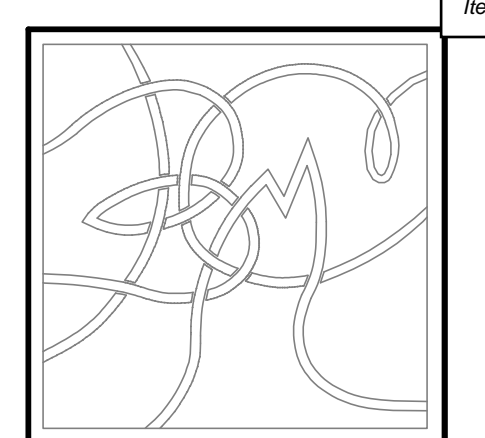
NORTH (REAR) ELEVATION
1/4" = 1'-0"



WEST (LEFT SIDE) ELEVATION
1/4" = 1'-0"



EAST (RIGHT SIDE) ELEVATION
1/4" = 1'-0"



RENOVATION AND ADDITION TO GASZYNSKI RESIDENCE AT:
314 EAST MAIN STREET
 LOT : 6 B L O C K : 113
 BOROUGH OF MANASQUA, MONMOUTH COUNTY, NEW JERSEY

BRIAN M. COLLIS
 NJ LIC. NO. 21A10134600

BRIAN M. COLLIS
ARCHITECTURE
 128 JOHN STREET
 BRICK, NEW JERSEY 08714
 TEL : 848-469-1864

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REVISIONS:

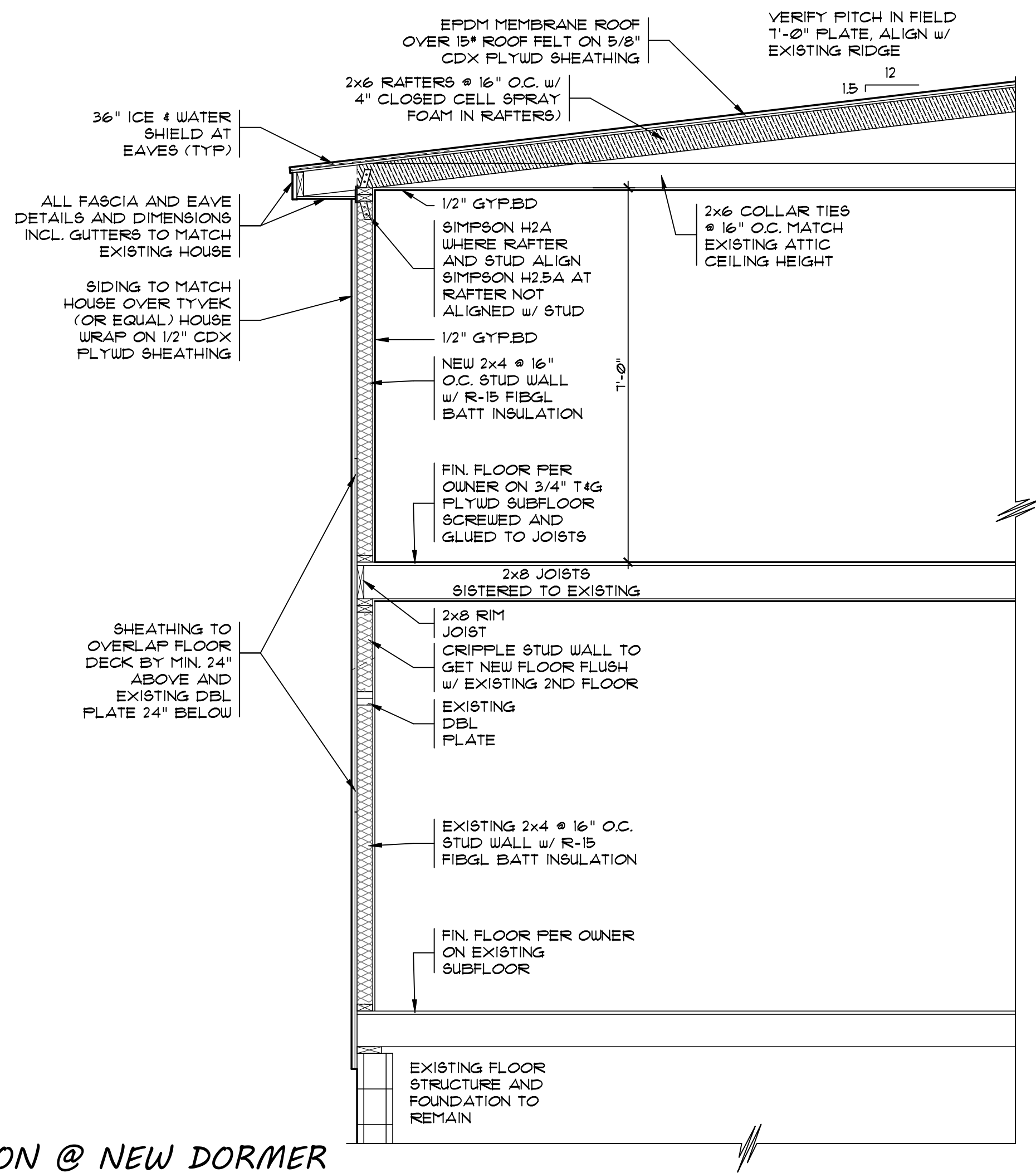
DRAWN BY: bmc

COMM.

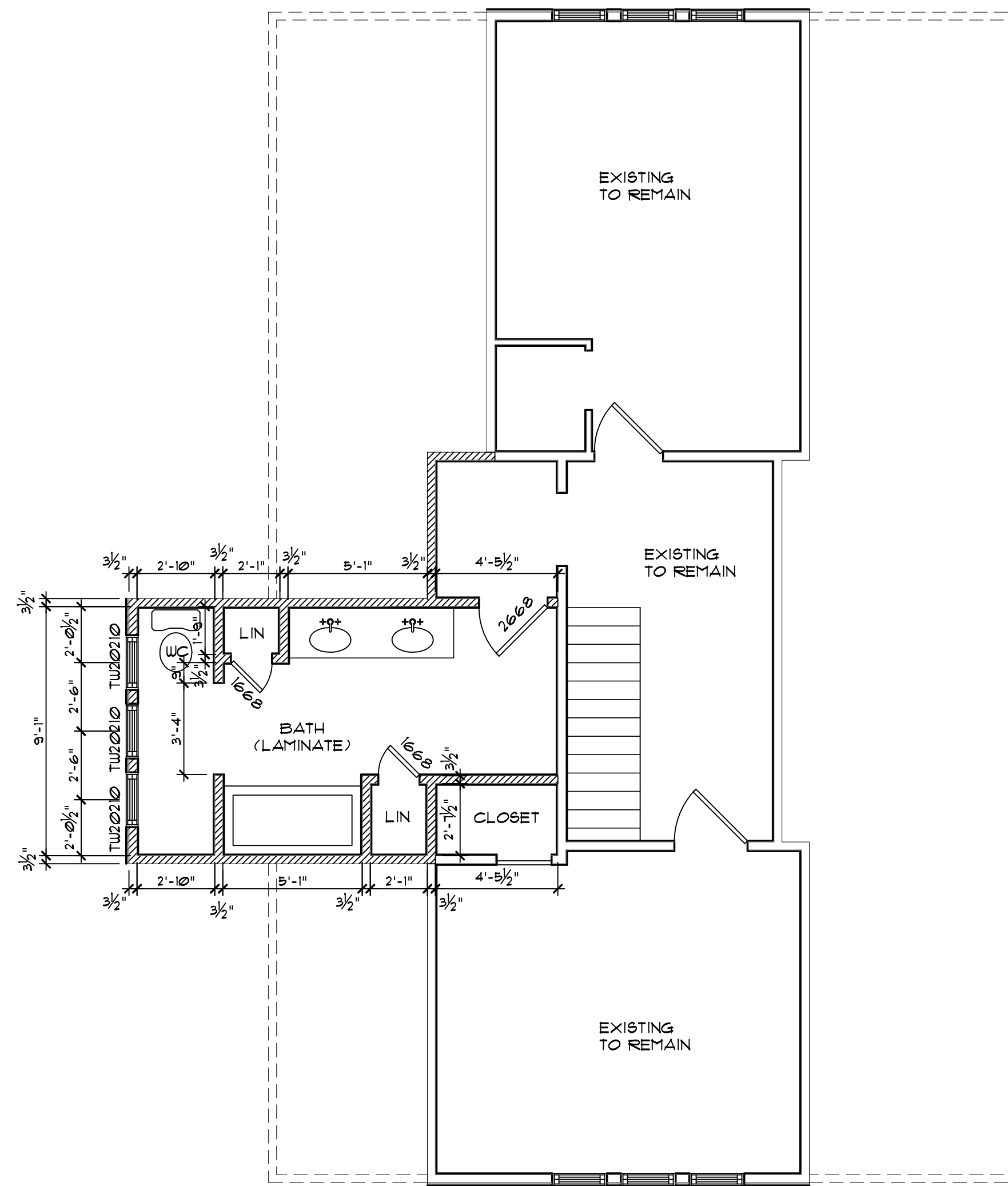
DATE: 10/25/2022

A1

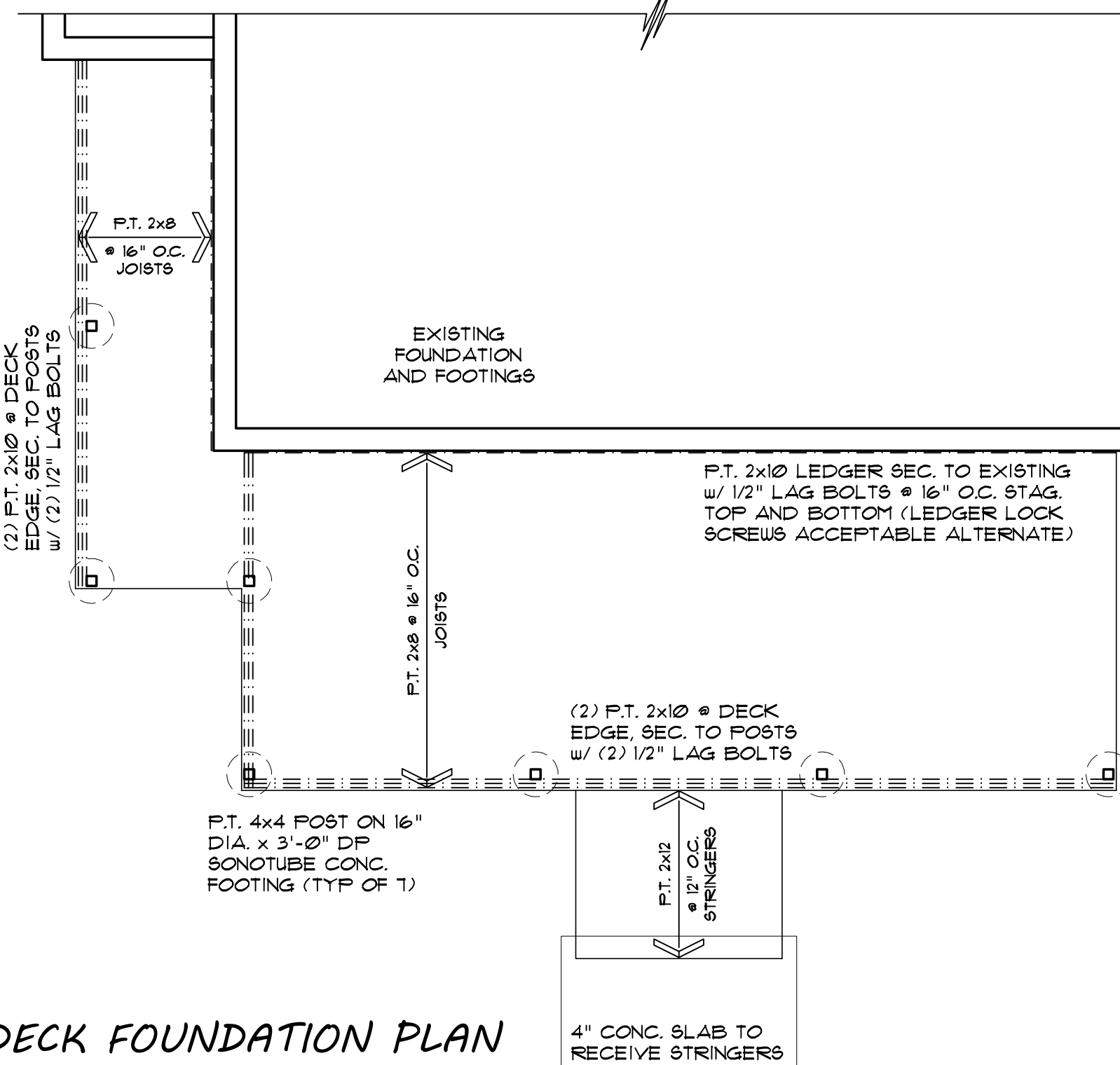
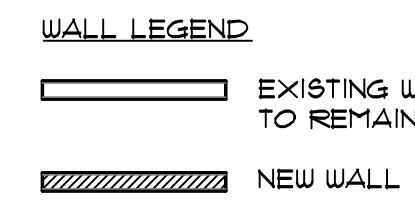
SHT. 2 OF 4



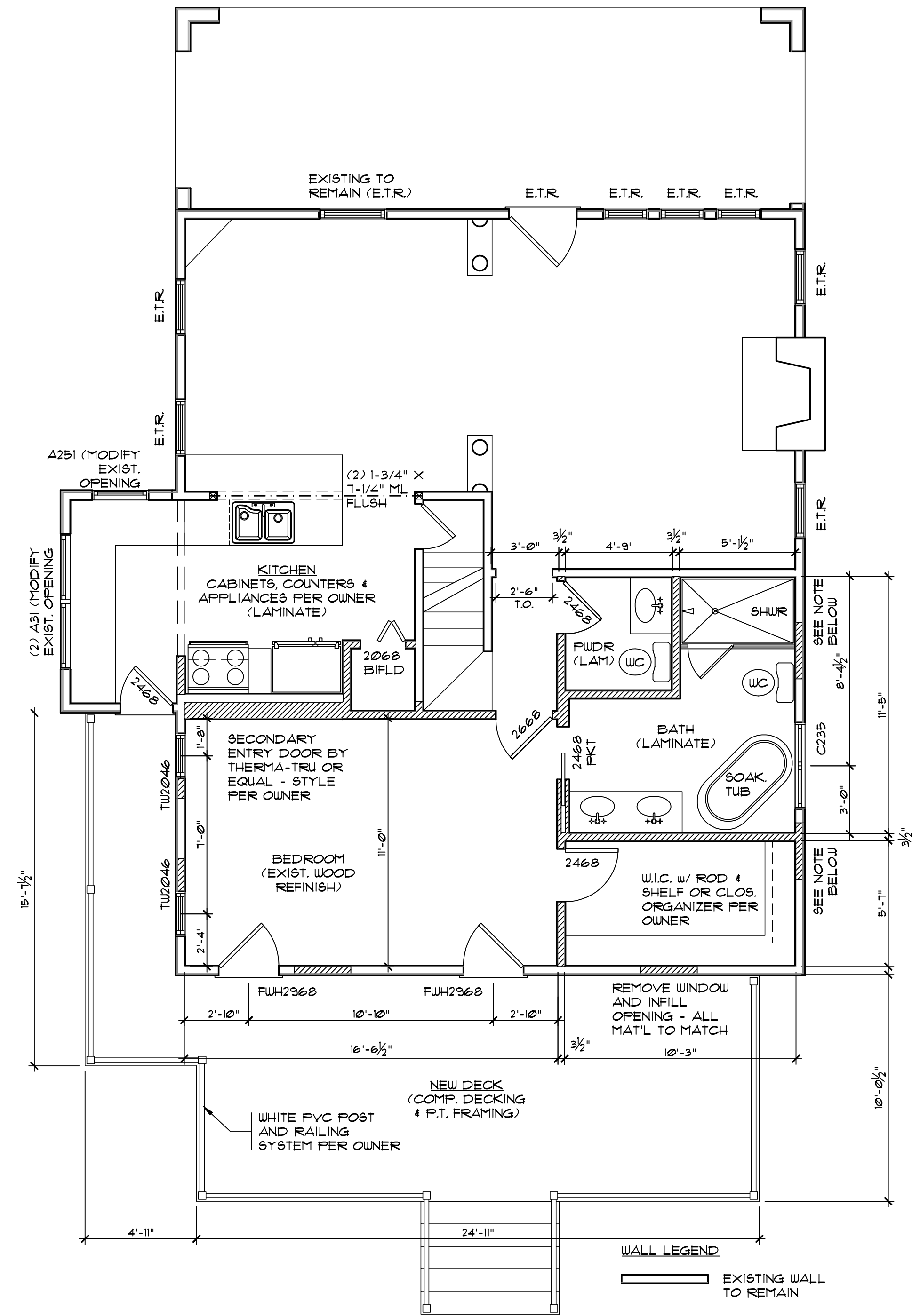
SECTION @ NEW DORMER
1/2" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



DECK FOUNDATION PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"



RENOVATION AND ADDITION TO GASZYNSKI RESIDENCE AT:
314 EAST MAIN STREET
 LOT: 6 BLOCK: 113
 BOROUGH OF MANASQUA, MONMOUTH COUNTY, NEW JERSEY

BRIAN M. COLLIS
 NJ LIC. NO. 21A10134600

BRIAN M. COLLIS
 ARCHITECTURE
 128 JOHN STREET
 BRICK, NEW JERSEY 08724
 TEL: 848-469-1864

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REVISIONS:
 DRAWN BY: bmc
 COMM.
 DATE: 10/25/2022

A2
 SHT. 3 OF 4

ELECTRICAL LEGEND

⊞	SINGLE POLE SWITCH
⊞ 3 4	THREE OR FOUR WAY SWITCH
⊞	DUPLEX RECEPTACLE OUTLET - (60" A.F.F WHERE NOTED)
⊞	DEDICATED OUTLET
⊞ GFI	GROUND FAULT RECEPTACLE - (42" A.F.F WHERE NOTED)
⊞	SURFACE MOUNTED CEILING FAN
⊞	SURFACE MOUNTED FIXTURE
⊞ R	RECESSED FIXTURE (VP DENOTES VAPOR PROOF FIXTURE)
⊞ P	SURFACE MOUNTED PENDANT FIXTURE
⊞	EXHAUST FAN (VENT TO EXTERIOR)
⊞ SD	HARD WIRED SMOKE DETECTOR W/ BATTERY BACK UP
⊞ SD/CO	SMOKE DETECTOR & CARBON MONOXIDE DETECTOR COMBINATION UNIT

GC TO PERFORM WALK-THRU w/ OWNER TO VERIFY TYPE AND LOCATION OF OUTLETS, FIXTURES AND SWITCHES.

DATA, AND CABLE LINES TO BE LOCATED AS PER OWNER DURING WALK-THROUGH.

FIXTURES IN CLOSETS TO COMPLY WITH NEC SECTIONS 410.2 AND 410-8.

EXHAUST FANS IN ALL BATHS TO VENT TO EXTERIOR.

PROVIDE GAS LINE TO OVEN / COOKTOP. CAP IF UNUSED

GAS RISER DIAGRAM TO BE PROVIDED BY NJ LICENSED PLUMBING CONTRACTOR.

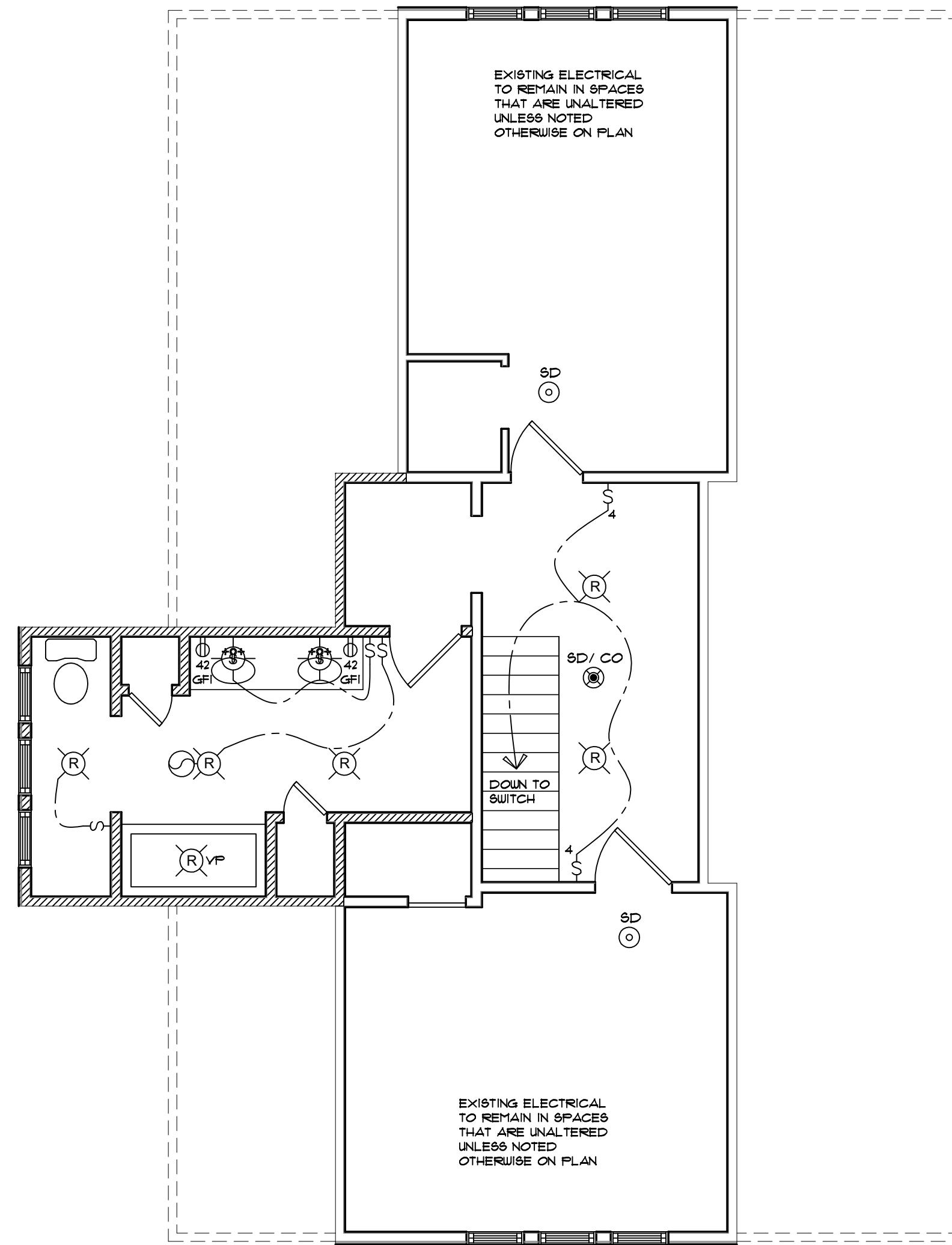
MASTER SHOWER TO BE TILE FLOOR OVER FIBERGLASS PAN, SIZES SHOWN ON PLAN. TILE WALLS AND CEILING.

BATH/SHOWER UNITS IN OTHER BATHROOMS PER OWNER w/ TILE WALLS AND CEILINGS.

LAYOUT OF MECHANICAL SYSTEMS (INCLUDING SIZING AND DUCT LAYOUT) TO BE BY A NJ LICENSED HVAC CONTRACTOR.

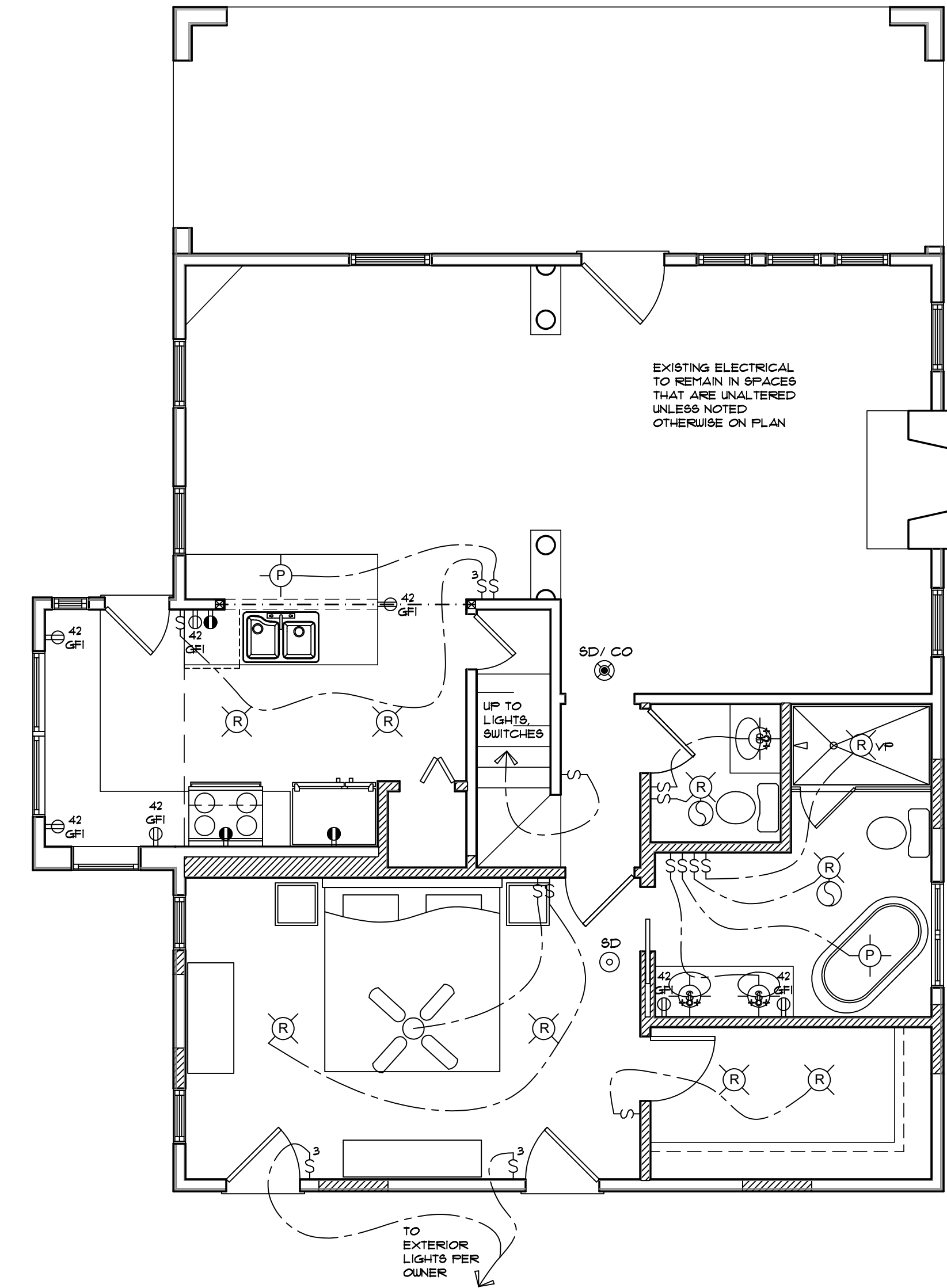
ELECTRICAL CONTRACTOR TO VERIFY SIZE OF EXISTING ELECTRICAL SERVICE TO DETERMINE ADEQUACY RE: ADDED FIXTURES AND CIRCUITS. UPGRADE SERVICE IF REQUIRED.

ELECTRICAL CONTRACTOR TO LABEL PANEL TO REFLECT ALL NEW AND RENOVATION WORK.



SECOND FLOOR ELECTRICAL PLAN

1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN

1/4" = 1'-0"

RENOVATION AND ADDITION TO GASZYNSKI RESIDENCE AT:
314 EAST MAIN STREET
 LOT: 6 B L O C K: 113
 BOROUGH OF MANASQUA, MONMOUTH COUNTY, NEW JERSEY

BRIAN M. COLLIS

N.J. LIC. NO.
21A01134600

BRIAN M. COLLIS
 ARCHITECTURE

128 JOHN STREET
 BRICK, NEW JERSEY 08714
 TEL: 848-469-1864

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REVISIONS:

DRAWN BY: bmc

COMM.

DATE: 10/25/2022

E1

SHT. 4 OF 4

December 13, 2022

Barbara Ilaria, Secretary
Manasquan Borough Planning Board
201 East Main Street
Manasquan, NJ 08736

B.O.M. RECEIVED
M&G _____ ADM _____
CLERK _____ CFO _____

DEC 16 2022

DPW _____ CONST _____
PD _____ OTHER _____

Re: Boro File No. MSPB-R1980
Minor Subdivision – Liskowitz
Block 73, Lots 62 & 95
126 Morris Avenue
R-2 Residential Zone
Borough of Manasquan, Monmouth County, NJ

Dear Ms. Ilaria:

As per your request, I have reviewed the above-referenced application in accordance with the provisions of the Borough Land Development Ordinance. The documents reviewed in conjunction with this application include:

1. Minor Residential Subdivision Plan prepared by William Jensen, Jr., PE, of the Jensen Design Group, dated August 19, 2022, last revised August 23, 2022.
2. Subdivision Plat prepared by Justin Hedges, PLS, of InSite Surveying, LLC, dated August 22, 2022, last revised August 23, 2022.

Existing Lot 95 contains 6,500 square feet and fronts on Morris Avenue and existing Lot 62 contains 6,500 square feet and fronts on Marcellus Avenue. With this application, the applicant intends to create two new revised lots, one containing 7,800 square feet with frontage on Morris Avenue and one containing 5,200 square feet with frontage on Marcellus Avenue.

The application is deemed complete as of December 13, 2022.

The following are our comments and recommendations regarding this application:

1. The property is located in the R-2 - Residential Zone, where the existing and proposed residential lots are permitted.
2. The following bulk ('c') variance is required as part of this application:
 - a. A maximum building coverage of 30% is permitted, whereas a coverage of 32.8% is proposed for Lot 95.01 (37.7% exists).




Re: Boro File No. MSPB-R1980
Minor Subdivision – Liskowitz
Block 73, Lots 62 & 95

December 13, 2022
Sheet 2

3. The following non-conformities exist on Lot 95 and are not proposed to be modified as part of this application:
 - a. A minimum side yard setback of 5 feet is required, whereas a setback of 4.8 feet exists and is proposed (west side).
 - b. A minimum side yard setback of 5 feet is required, whereas a setback of 4.9 feet exists and is proposed (east side).
4. The applicant should indicate if the subdivision is to be filed by map or by deed. If filed by deed, copies of the deeds and deed descriptions must be submitted to our office and the Board Attorney for review. The deed descriptions must be prepared by a Professional Land Surveyor licensed in the State of New Jersey. If it is to be filed by map, all necessary revisions to the plat must be made so that it conforms to the current Title Recordation Law requirements
5. Monuments are shown as to be set at the intersection of the proposed lot line. I suggest any monuments be set prior to the map being signed by the Board. The applicant should indicate their intent of when the monument will be set. If they are proposed to be set after the perfection of the subdivision, a bond must be posted with the Borough.
6. The applicant should be aware that if any future construction on either of the new lots does not meet the zoning requirements (setbacks, coverage, etc.), a separate application to the Board will be required. Grading plans and front yard landscaping plans will also be required.
7. The proposed revised lot numbers must be reviewed and approved by the tax office.
8. All necessary outside agency approvals must be obtained for this project. These may include, but not be limited to the following:
 - a. Monmouth County Planning Board – Final Approval

Should you have any questions or desire any additional information, please do not hesitate to contact me.

Very truly yours,


ALBERT D. YODAKIS, P.E., P.P.
PLANNING BOARD ENGINEER
BOROUGH OF MANASQUAN

ADY:jy



Re: Boro File No. MSPB-R1980
Minor Subdivision – Liskowitz
Block 73, Lots 62 & 95

December 13, 2022
Sheet 3

cc: George McGill, esq., Planning Board Attorney
William Jensen, PE
Jensen Design Group, 2150 Route 35, Suite 250, Sea Girt, NJ 08750
John Liskowitz
126 Morris Avenue, Manasquan, NJ 08736

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official

APPLICATION TO THE PLANNING BOARD

*Applicant's Name: john and stephanie Liskowitz

*Applicant's Address: 126 Morris ave Mansquan NJ

*Telephone Number: Home: _____ Cell: 7326724214

*e-mail Address: bigeesh65@gmail.com

*Property Location: 126 Morris ave and 123 Marcellus Ave

*Block: _____ Lot: Block 73 Lot 95

*Type of Application: minor subdivision
Bulk Variance, Non-Permitted Use- Conditional Use- Subdivision- Minor Subdivision- Major-
Site Plan Approval

*Date of Zoning Officer's Denial Letter: Nov 1 2022
Attach Zoning Permit Application

*Plot Plan (Survey) not older than five (5) years, clearly indicating all buildings and setbacks.

*Is the Applicant the Landowner? yes

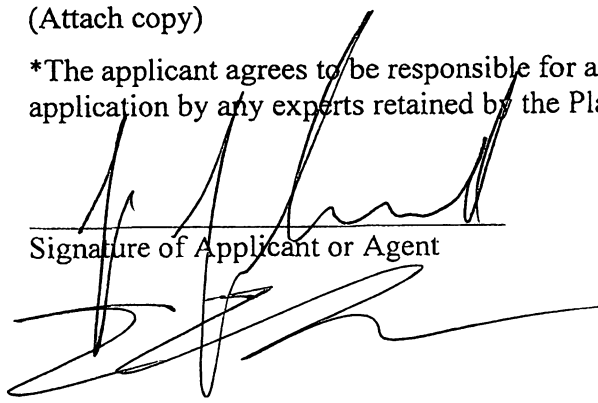
*Does the Applicant own any adjoining land? yes

*Are the property taxes paid to date? yes

*Have there been any previous applications to the Planning Board concerning this property? no
(Attach copy)

**Are there any Deed Restrictions, Easements, or Covenants affecting this
property? no
(Attach copy)

*The applicant agrees to be responsible for and pay for the costs entailed in the review of this
application by any experts retained by the Planning Board for advice in this matter.



Signature of Applicant or Agent

11/18/2022
Date

BOROUGH HALL
201 EAST MAIN STREET

Incorporated December 30, 1887

732-223-0544
Fax 732-223-1300

EDWARD G. DONOVAN
Mayor

CONSTRUCTION DEPARTMENT

FRANK F. DiROMA
Supervisor of Code Enforcement

THOMAS F. FLARITY
Municipal Administrator

BOROUGH OF MANASQUAN
COUNTY OF MONMOUTH
NEW JERSEY 08736

STEVEN J. WINTERS
Construction Official



November 1, 2022

John Liskowitz
126 Morris Avenue
Manasquan, NJ 08736

Re: Block: 73 Lot: 95 Zone: R-2
126 Morris Avenue – 123 Marcellus Avenue

Dear Sir:

On this date we reviewed your application for the following project.

Transfer approximately 1,300s.f. from Block 73, Lot 62 to Block 73, Lot 95 and subdivide Block 73, Lots 62 and 95 into two fully conforming lots in the R-2 Zone. (Proposed lot 95.01- 7,800s.f.) – (Proposed Lot 60.01 – 5,200s.f.)

Minor subdivision plot plan prepared by William Jensen on August 19, 2022.

Application denied for the following reason(s):

Section 32-8.1 – Requires Planning Board approval for the proposed minor subdivision.

If you have any questions, please call me at 732-223-0544, ext. 256

Sincerely,

Richard Furey
Zoning/Code Enforcement Officer

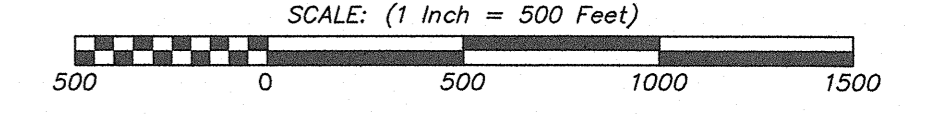
MINOR RESIDENTIAL SUBDIVISION

LOTS 62 & 95 - BLOCK 73

BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY



LOCATION MAP
SCALE: (1 Inch = 500 Feet)



R-2 ZONE					
	REQUIRED	LOT 95	NEW LOT 95.01	LOT 62	NEW LOT 62.01
MINIMUM REQUIRED:					
LOT AREA (SF)	5,000	6,500	7,800	6,500	5,200
LOT WIDTH (FT)	50	50	50	50	50
PRINCIPAL STRUCTURE REQUIRED:					
MIN. FRONT SETBACK (FT)	25	25.7	25.7	25.0	25.0
MIN. REAR SETBACK (FT)	20	36.9	62.9	46.0	20.0
MIN. SIDE SETBACK (FT)	5	3.5 *	3.5 *	5.2	5.2
MAX. BUILDING COVERAGE (%)	30	37.7 *	32.8 **	24.6	28.7
MAX. IMPERVIOUS COVERAGE (%)	45	37.7	32.8	29.9	35.3

* EXISTING CONDITION
** REDUCED FROM EXISTING VARIANCE CONDITION

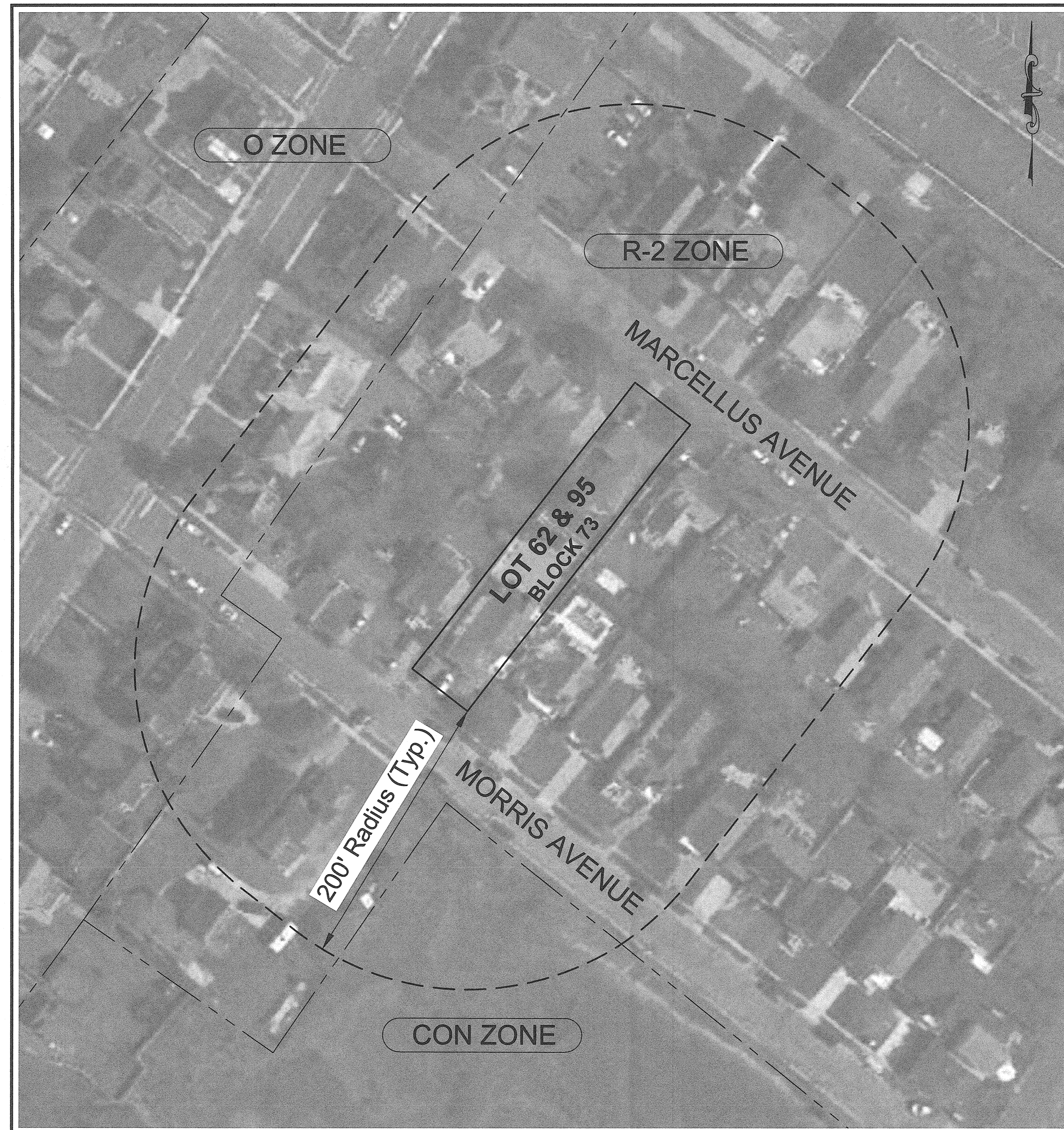
APPROVED BY
BOROUGH OF MANASQUAN PLANNING / ZONING BOARD

DATE	CHAIRMAN
DATE	SECRETARY
DATE	CLERK
DATE	ENGINEER

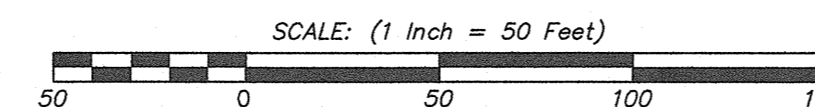
I am the representative of the property owner and consent to the filing of this Minor Residential Site Plan with the Board.

DATE	OWNER
------	-------

PROPERTY OWNERS WITHIN 200 FEET



AREA MAP
SCALE: (1 Inch = 50 Feet)



GENERAL NOTES:

- PROPERTIES BEING KNOWN AS BLOCK 73, TAX LOTS 62 & 95 WITHIN THE BOROUGH OF MANASQUAN. THE PROPERTIES CONTAINS A TOTAL OF 13,000± SQUARE FEET AND IS SITUATED WITHIN THE R-2 ZONE.
- BOUNDARY AND TOPOGRAPHIC INFORMATION FOR LOTS 62 & 95 ARE BASED UPON A PLAN ENTITLED "BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY, BLOCK 73, LOTS 62 & 95, 126 MORRIS AVENUE & 123 MARCELLUS AVENUE, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY INSITE SURVEYING, LLC, SIGNED BY JUSTIN J. HEDGES, PLS #43362, DATED 6-20-22. ELEVATIONS ARE BASED UPON (NAVD 88) AS INDICATED ON THE PLAN.
- OWNER/APPLICANT: JOHN LISKOWITZ
126 MORRIS AVENUE
MANASQUAN, NJ 08736
- EXISTING USE: RESIDENTIAL DWELLINGS WITH SITE AMENITIES
- PROPOSED USE: LOT LINE ADJUSTMENT FOR THE EXISTING RESIDENTIAL DWELLINGS.
- DO NOT SCALE DRAWINGS AS THEY PERTAIN TO ADJACENT AND SURROUNDING PHYSICAL CONDITIONS, BUILDINGS, STRUCTURES, ETC.. THEY ARE SCHEMATIC ONLY, EXCEPT WHERE DIMENSIONS ARE SHOWN THERE TO. ADJACENT STRUCTURES TAKEN FROM AERIAL INFORMATION. ADJACENT LOT LINES TAKEN FROM TAX MAPS.
- THIS SET OF PLANS HAS BEEN PREPARED FOR PURPOSES OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THESE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION."
- EXISTING UTILITY CONNECTIONS SHALL BE USED IF POSSIBLE. ANY EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION, AND NOTIFY NJ ONECALL AS REQUIRED BY LAW. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENT AS REQUIRED TO AVOID CONFLICTS.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION FOR SITE IMPROVEMENTS SHOWN HEREON SHALL BE IN ACCORDANCE WITH:
 - N. J. DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION", AS CURRENTLY AMENDED.
 - CURRENT, PREVAILING MUNICIPAL AND/OR COUNTY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
 - CURRENT, PREVAILING UTILITY COMPANY/AUTHORITY SPECIFICATIONS, STANDARDS AND REQUIREMENTS.
- CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IMMEDIATELY IF ANY FIELD CONDITIONS ENCOUNTERED DIFFER MATERIALLY FROM THOSE REPRESENTED HEREON AND/OR IF SUCH CONDITIONS, IN THE CONTRACTOR'S OPINION WOULD OR COULD RENDER THE DESIGN SHOWN HEREON INAPPROPRIATE OR INEFFECTIVE.
- THIS PLAN IS SUBJECT TO ALL LOCAL AND STATE REGULATORY PERMITS, AGENCY REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL CONFIRM THE LOCATION OF THE EXISTING SANITARY SEWER LATERAL, WATER SERVICE, ELECTRICAL SERVICE AND GAS SERVICE PRIOR TO CONSTRUCTION. THE EXISTING SERVICES SHALL BE RELOCATED AS REQUIRED.
- ALL FILL MATERIAL ON THE PROPERTY SHALL BE INSTALLED IN 8"-12" LIFTS AND COMPACTED BETWEEN LIFTS.
- SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE PROPERTY PRIOR TO THE START OF CONSTRUCTION AND REMAIN IN PLACE THROUGHOUT THE CONSTRUCTION PROCESS.
- THE CONTRACTOR AND HOMEOWNER SHALL COORDINATE WITH THE UTILITY COMPANY TO ENSURE THE EXISTING OVERHEAD WIRES MEET ALL THE REQUIRED SEPARATION REQUIREMENTS WITH THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- NO ATTEMPT HAS BEEN MADE TO LOCATE ANY WETLANDS OR WATER COURSES.
- THE PUBLIC SIDEWALK, CURB AND DRIVEWAY APRON AT THE STREET MUST BE REPLACED WITH 4,500 PSI CONCRETE IF DAMAGED DURING CONSTRUCTION ACTIVITIES.

SHEET LIST TABLE		
Sheet Number	Sheet Title	Revised
1	COVER SHEET	8-19-22
2	EXISTING CONDITIONS PLAN	8-19-22
3	SUBDIVISION PLAN	8-19-22

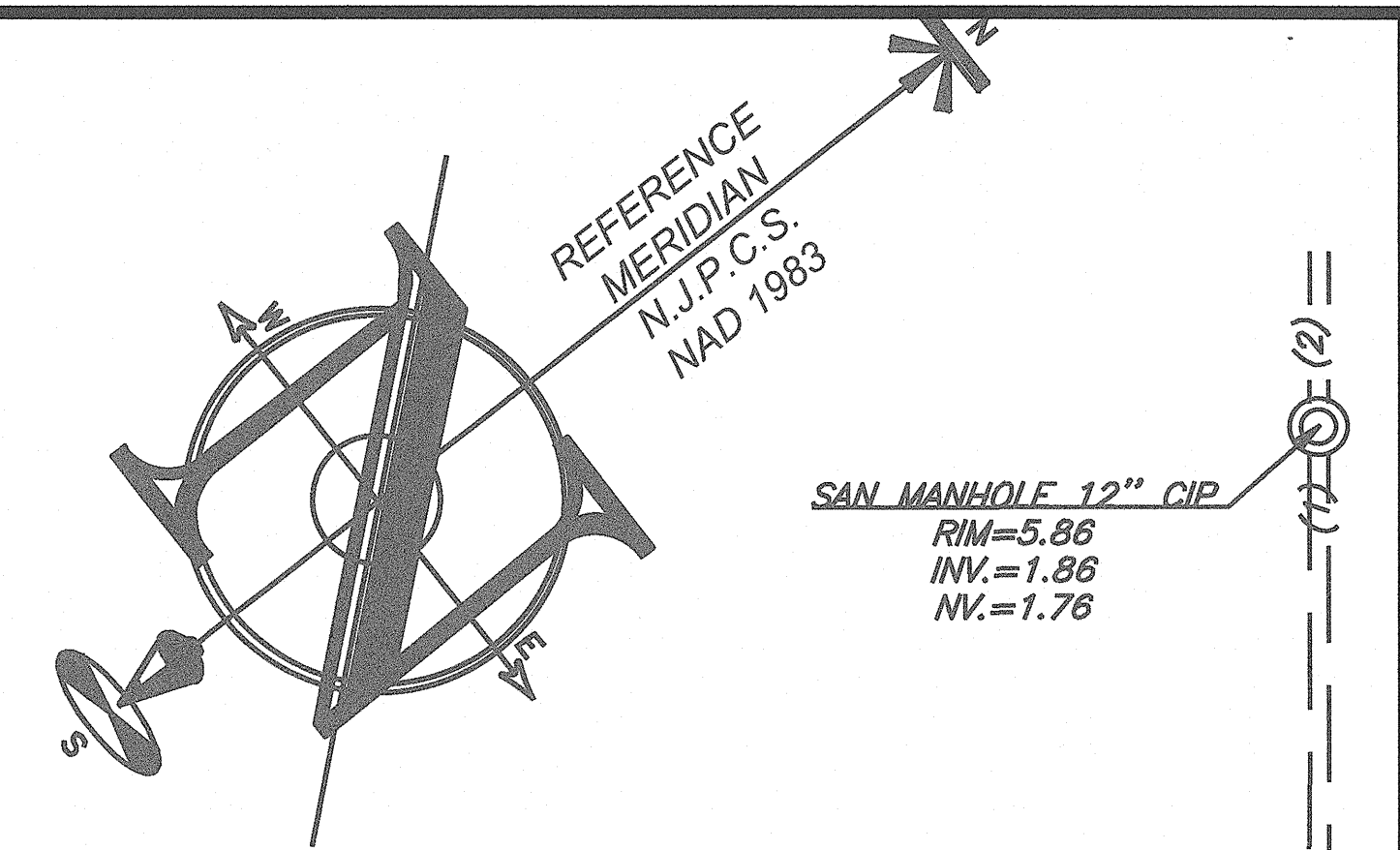
WILLIAM E. JENSEN, JR., PE
N.J. PROFESSIONAL ENGINEER NO. 44521

JG JENSEN DESIGN GROUP
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732-860-7328
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Certificate of Authorization No. 24GA28251100

MINOR RESIDENTIAL SUBDIVISION
COVER SHEET
OF
LOTS 62 & 95 - BLOCK 73
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

PROJECT NUMBER:
21126
SCALE:
NOTED
DATE:
8-19-22
CHECKED BY:
HJR
SHEET:
1 of 3

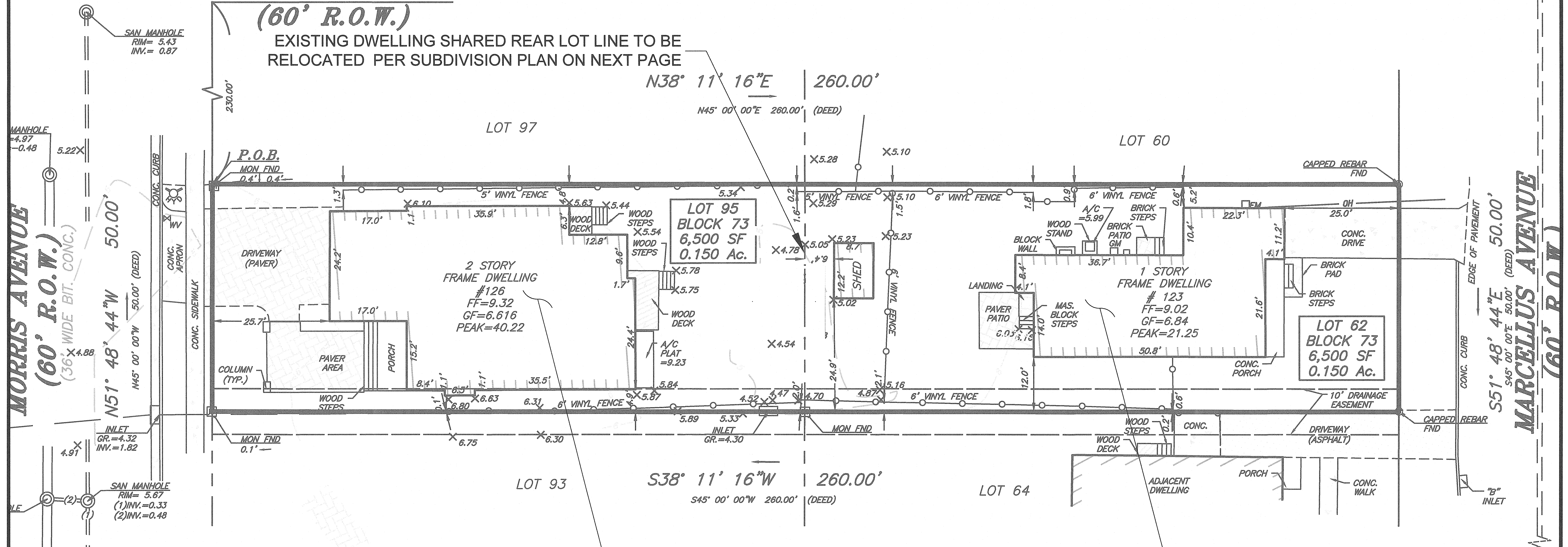
No.	Date	Revision	Revised By/Checked By
1	8-23-22	FINALIZED FOR SUBMISSION	HJR NEJ



UNION AVENUE

(60' R.O.W.)

EXISTING DWELLING SHARED REAR LOT LINE TO BE RELOCATED PER SUBDIVISION PLAN ON NEXT PAGE



EXISTING DWELLING LOCATION ON LOT 95 TO REMAIN

EXISTING DWELLING LOCATION ON LOT 62 TO REMAIN

Existing Lot 95 Area: 6,500 ± s.f.

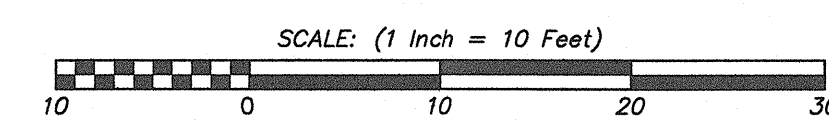
Existing Lot Coverage:

Dwelling & Covered Porch:	2,450 ± s.f.
Paver Driveway (555 ± s.f.):	0 ± s.f.
Paver Front Walkway & Steps (377 ± s.f.):	0 ± s.f.
A/C Platform (49 ± s.f.):	0 ± s.f.
Rear Decks & Steps (126 ± s.f.):	0 ± s.f.
Total of Existing:	2,450 ± s.f. (37.7%)

Existing Lot 62 Area: 6,500 ± s.f.

Existing Lot Coverage:

Dwelling & Covered Porch:	1,492 ± s.f.
Driveway:	275 ± s.f.
Front Walkway & Steps:	35 ± s.f.
A/C Pads:	10 ± s.f.
Side Landings & Steps:	24 ± s.f.
Rear Paver Patio (147 ± s.f.):	0 ± s.f.
Shed:	105 ± s.f.
Total of Existing:	1,941 ± s.f. (29.9%)



WILLIAM JENSEN, JR., PE
N.J. PROFESSIONAL ENGINEER NO. 44521

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MINOR RESIDENTIAL SUBDIVISION
EXISTING CONDITIONS PLAN
OF
LOTS 62 & 95 - BLOCK 73
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

PROJECT NUMBER: 21126
SCALE: 1" = 10'
DATE: 8-19-22
CHECKED BY: HJR
SHEET: 2 of 3

No.	Date	Revision	Revised By/Checked By
1	8-23-22	FINALIZED FOR SUBMISSION	HJR WEJ

R-2 ZONE					
MINIMUM REQUIRED:	REQUIRED	LOT 95	NEW LOT 95.01	LOT 62	NEW LOT 62.01
LOT AREA (SF)	5,000	6,500	7,800	6,500	5,200
LOT WIDTH (FT)	50	50	50	50	50
PRINCIPAL STRUCTURE REQUIRED:					
MIN. FRONT SETBACK (FT)	25	25.7	25.7	25.0	25.0
MIN. REAR SETBACK (FT)	20	36.9	62.9	46.0	20.0
MIN. SIDE SETBACK (FT)	5	3.5 *	3.5 *	5.2	5.2
MAX. BUILDING COVERAGE (%)	30	37.7 *	32.8 **	24.6	26.7
MAX. IMPERVIOUS COVERAGE (%)	45	37.7	32.8	29.9	35.3
* EXISTING CONDITION					
** REDUCED FROM EXISTING VARIANCE CONDITION					

MAP FILED IN THE MONMOUTH COUNTY CLERK'S OFFICE
ON _____ AS MAP NO. _____

APPROVED BY
BOROUGH OF MANASQUAN PLANNING / ZONING BOARD

DATE _____ CHAIRMAN _____
DATE _____ SECRETARY _____
DATE _____ CLERK _____
DATE _____ ENGINEER _____

I/WE HEREBY CERTIFY THAT WE ARE THE RECORD
HOLDERS OF TITLE TO THE LANDS DELINEATED ON THIS
MAP AND APPROVE THE FILING THEREOF.

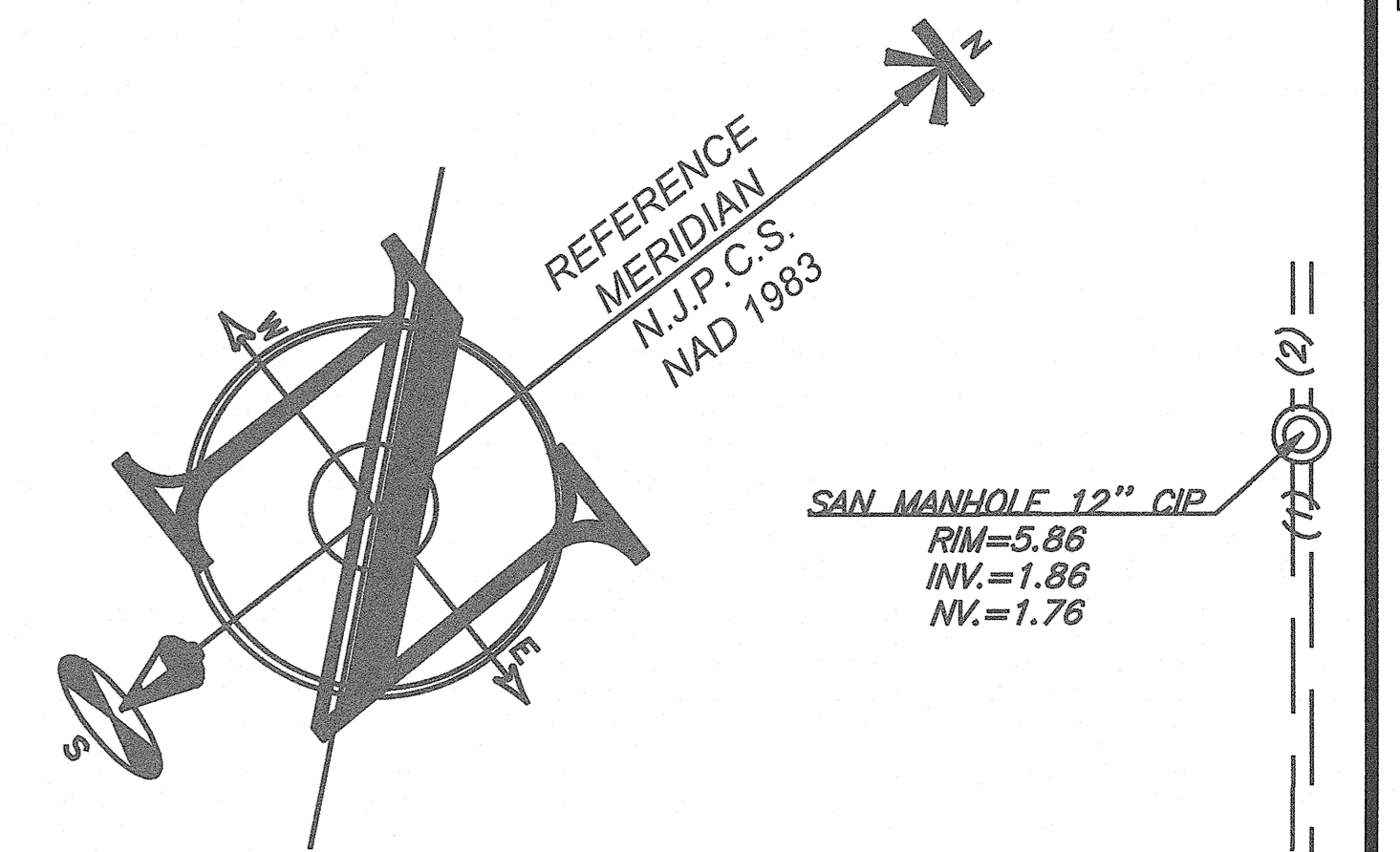
JOHN LISKOWITZ

SWORN TO AND SUBSCRIBED BEFORE ME.

DATE _____ NOTARY PUBLIC OF NEW JERSEY _____

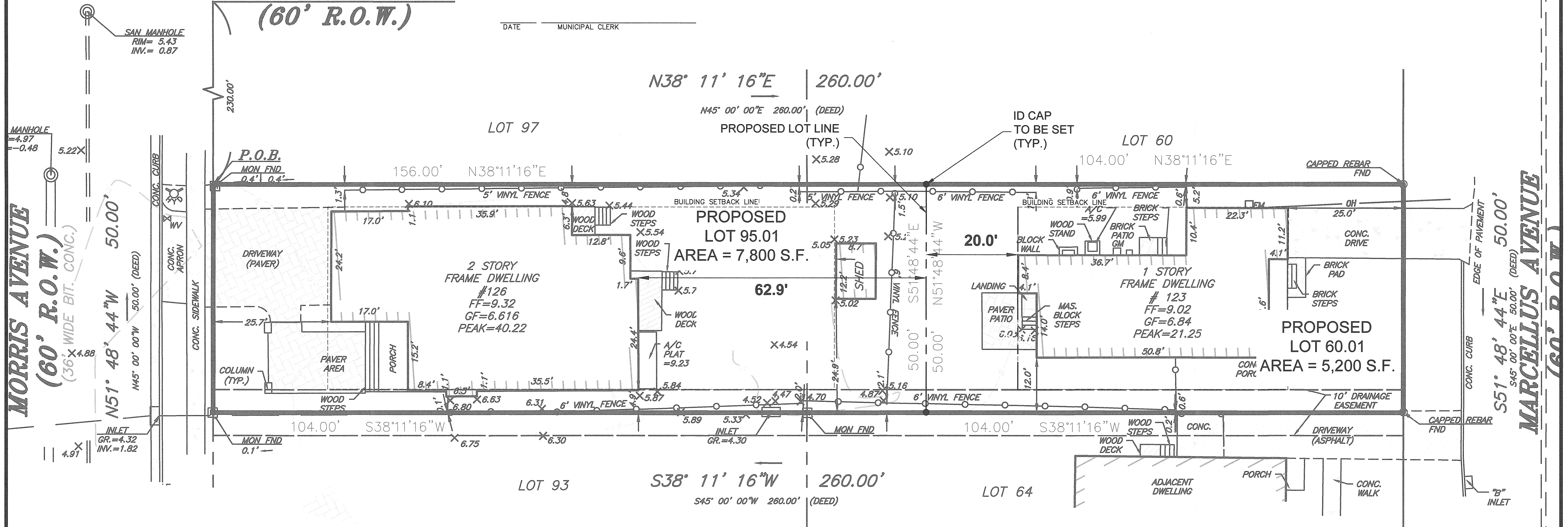
I CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THIS
MAP AND LAND SURVEY DATED 8-19-22 MEET THE MINIMUM SURVEY DETAIL
REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND
LAND SURVEYORS AND THE MAP HAS BEEN MADE UNDER MY SUPERVISION,
AND COMPLIES WITH THE PROVISIONS OF THE "MAP FILING LAW" AND THAT
THE OUTBOUND CORNER MARKERS AS SHOWN HAVE BEEN FOUND OR SET.

JUSTIN J. HEDGES - NJ PROFESSIONAL LAND SURVEYOR, LIC. NO. GS43362



PROPERTY OWNERS WITHIN 200 FEET

UNION AVENUE
(60' R.O.W.)

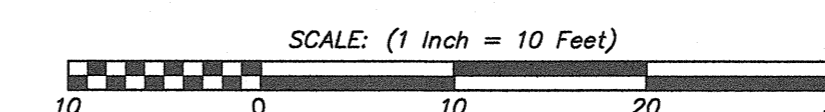


GENERAL NOTES:

- PROPERTIES BEING KNOWN AS BLOCK 73, TAX LOTS 62 & 95 WITHIN THE BOROUGH OF MANASQUAN. THE PROPERTIES CONTAINS A TOTAL OF 13,000± SQUARE FEET AND IS SITUATED WITHIN THE R-2 ZONE.
- BOUNDARY AND TOPOGRAPHIC INFORMATION FOR LOTS 62 & 95 ARE BASED UPON A PLAN ENTITLED "BOUNDARY, TOPOGRAPHIC & UTILITY SURVEY, BLOCK 73, LOTS 62 & 95, 126 MORRIS AVENUE & 123 MARCELLUS AVENUE, BOROUGH OF MANASQUAN, MONMOUTH COUNTY, NEW JERSEY", PREPARED BY INSITE SURVEYING, LLC, SIGNED BY JUSTIN J. HEDGES, PLS #43362, DATED 6-20-22. ELEVATIONS ARE BASED UPON (NAVD 88) AS INDICATED ON THE PLAN.
- IT IS PROPOSED TO ADJUST THE LOT LINE BETWEEN TWO EXISTING LOTS TO CREATE TWO (2) NEW RESIDENTIAL LOTS WHICH BOTH HAVE EXISTING STRUCTURES, DRIVEWAYS AND OTHER SITE AMENITIES.
- PROPOSED LOT NUMBERS WILL BE REVIEWED & APPROVED BY THE TAX ASSESSOR OF THE BOROUGH OF MANASQUAN.
- THE SUBDIVISION SHALL BE FILED BY (MAP OR DEED) IN ACCORDANCE WITH THE MAP FILING LAW.

New Lot 95.01 Area:	7,800 ± s.f.
Proposed Lot Coverage:	
Dwelling & Covered Porch:	2,450 ± s.f.
Paver Driveway (555 ± s.f.):	0 ± s.f.
Paver Front Walkway & Steps (377 ± s.f.):	0 ± s.f.
A/C Platform (49 ± s.f.):	0 ± s.f.
Rear Decks & Steps (126 ± s.f.):	0 ± s.f.
Shed:	105 ± s.f.
Total of Proposed:	2,555 ± s.f. (32.8%)

New Lot 62.01 Area:	5,200 ± s.f.
Proposed Lot Coverage:	
Dwelling & Covered Porch:	1,492 ± s.f.
Driveway:	275 ± s.f.
Front Walkway & Steps:	35 ± s.f.
A/C Pads:	10 ± s.f.
Side Landings & Steps:	24 ± s.f.
Rear Paver Patio (147 ± s.f.):	0 ± s.f.
Total of Proposed:	1,836 ± s.f. (35.3%)



No.	Date	Revision	Revised By	Checked By
1	8-23-22	FINALIZED FOR SUBMISSION	HJR	WEJ

INSITE Surveying, LLC
CERTIFICATE OF AUTHORIZATION:
24642825100

1580 ROUTE 34, SUITE 1A, WALL, NJ 07719
732-860-7328
www.insitesurveying.com

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND RANDED SEAL OF THE PROFESSIONAL, IT IS NOT AN ORIGINAL AND MAY HAVE BEEN ALTERED.

JUSTIN J. HEDGES, P.L.S.
PROFESSIONAL LAND SURVEYOR
NJ LIC. NO. 0543362

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Certificate of Authorization No. 24642825100

MINOR RESIDENTIAL SUBDIVISION
SUBDIVISION PLAT
OF
LOTS 62 & 95 - BLOCK 73
BOROUGH OF MANASQUAN
MONMOUTH COUNTY, NEW JERSEY

PROJECT NUMBER:
21126

SCALE:
1" = 10'

DATE:
8 - 19 - 22

CHECKED BY:
HJR

SHEET:
3 of 3



DEED OF DRAINAGE RIGHT-OF-WAY EASEMENT
AND MAINTENANCE AGREEMENT

MAR 04 2009

Item 6.

THIS Deed of Easement made this 3rd day of March, 2009

By and between Lynn Stuart, Lynn Stuart Charitable Remainder Uni-Trust I, Lee Morton, Trustee, and Lynn Stuart Charitable Remainder Uni-trust II, Lynn Stuart, Trustee with an address is 126 Morris Avenue, Manasquan, New Jersey 08736 (hereinafter collectively referred to as "GRANTOR").

and

Lynn Stuart, Lynn Stuart Charitable Remainder Uni-Trust I, Lee Morton, Trustee and Lynn Stuart Charitable Remainder Uni-trust II, Lynn Stuart, Trustee with an address is 126 Morris Avenue, Manasquan, New Jersey 08736 (hereinafter collectively referred to as "GRANTEE")

WITNESSETH:

WHEREAS, GRANTOR and GRANTEE Lynn Stuart is the owner of Lots 83, 85, 87, 89 and 95 in Block 73 on the Tax Map of the Borough of Manasquan, County of Monmouth, State of New Jersey; GRANTOR and GRANTEE Lynn Stuart Charitable Remainder Uni-Trust I, Lee Morton, Trustee, is the owner of Lot 93 in Block 73 on the Tax Map of the Borough of Manasquan, County of Monmouth, State of New Jersey; GRANTOR and GRANTEE Lynn Stuart Charitable Remainder Uni-trust II, Lynn Stuart, Trustee, is the owner of Lot 91 in Block 73 on the Tax Map of the Borough of Manasquan, County of Monmouth, State of New Jersey; and

WHEREAS, GRANTOR LYNN STUART installed a storm water management drainage piping system as described in Exhibit A attached hereto and made a part hereof; and

WHEREAS, GRANTOR is desirous of providing a DRAINAGE EASEMENT AND MAINTENANCE AGREEMENT (hereinafter referred to as "AGREEMENT") for the maintenance and repair of the storm water drainage system;

NOW THEREFORE, in consideration of the sum of One(\$1.00) Dollar and other good and valuable consideration, receipt of which is hereby acknowledged, the parties agree as follows:

Not Certified Copy

(For Recorder's Use Only)

Prepared by: (print signor's name below signature)

Lynn Stuart, Trustee
Lynn Stuart, Trustee,
Lynn Stuart Charitable Remainder Uni-Trust II

1
M CLAIRE FRENCH, CTY CLK
MONMOUTH COUNTY, NJ
INSTRUMENT NUMBER
2009020750
RECORDED ON
Mar 05, 2009
10:25:13 AM
BOOK: OR-8759
PAGE: 8608
Total Pages: 8
COUNTY RECORDING FEES \$100.00
TOTAL PAID \$100.00

1. **GRANT OF EASEMENT.** The GRANTOR hereby gives, grants and conveys unto the GRANTEE, its successors and assigns, forever and in perpetuity, a nonexclusive Easement and a nonexclusive free uninterrupted and unobstructed Right-of-Way, in, across, under, and over the Property of the GRANTOR situated in the Borough of Manasquan, county of Monmouth and State of New Jersey, said Right-of-Way to access the storm water Drainage system described in Exhibit A.

2. **MAINTENANCE AND REPAIRS.** The owner of each property described above, shall have the obligation to keep the Drainage System free and clear of obstructions of any kind, in good operating condition so as to permit the free flow of surface water runoff. In the event of obstruction or damage to the system on any lot, any owner of any other lot affected, may give the owner of the obstructed lot thirty (30) days notice to repair the system or to remove any obstructions to permit free flow of surface runoff water. Upon failure to do so the owner of the lot or lots giving notice shall have the right to perform said maintenance or repairs and the owner of the lot refusing to do so, shall be responsible for the expense of said maintenance and/or repair.
 - a. GRANTEE shall protect the Easement Property and the adjacent lands of any Grantor over which Grantee has rights of ingress and egress, from damage caused, in whole or in part by acts or omissions of Grantee, its employees, agents, contractors, subcontractors, assigns, lessees, licensees and agents.
 - b. Any obligation under this Agreement which is to be performed by the owner of any land which is affected by this Agreement shall be enforceable only against the then owner of such land and not against any such owner's predecessors in interest.

3. **GRANTOR DEFINED.** The word "GRANTOR" as used herein, whenever the context requires or permits, shall include the heirs, personal representatives, beneficiaries, successor, grantees and assigns of the owners of the land through which the easement runs, or the respective owners from time to time of portions thereof.

4. **REPRESENTATIONS BY GRANTOR.** GRANTOR does covenant with the GRANTEE as follows:
 1. That the said Grantor is seized of the real property hereby subject to said Easement and Right-Of-Way and has good title to convey the same.
 2. That the said GRANTEE shall have the non exclusive right to enjoy said Easement and Right-Of-Way without disturbance and interference.

5. **HEIRS SUCCESSORS AND ASSIGNS.** This Agreement shall be binding on the heirs, successors and assigns of the parties, and shall not be personal to the parties but shall run with the land.

6. NEW JERSEY LAW. This Agreement shall be governed by the laws of the State of New Jersey.

IN WITNESS WHEREOF, GRANTOR hereto has signed this Deed of Drainage Right-Of-Way Easement and Maintenance Agreement, the day and year first above written.

Grantor(S):

Lynn Stuart
Lynn Stuart, Owner, Lots 83,85,87,89,and 95

Witnesses:

Gail Fallon
Name: GAIL FALLON

Lee Morton TRUSTEE
Lee Morton, Trustee,
Lynn Stuart Charitable Remainder Uni-Trust I
Owner, Lot 93

Gail Fallon
Name: GAIL FALLON

Lynn Stuart, Trustee
Lynn Stuart, Trustee
Lynn Stuart Charitable Remainder Uni-Trust II
Owner, Lot 91

Gail Fallon
Name: GAIL FALLON

Not Certified Copy

DEED OF DRAINAGE RIGHT-OF-WAY EASEMENT AND MAINTENANCE AGREEMENT**EXHIBIT A**

Description: A drainage piping system exists running parallel approximately seven (7) feet from the rear property line of Block 73, Lots 83, 85, 87, 89, 91, 93 & 95. The system, installed in 1988, consists of a 12 inch porous wall pipe with three (3) drainage inlets pitched from lot 83 toward the intersection of Lots 93 & 95, at which place a catch basin directs waters through a 30 inch RCP in the westerly side of Lot 93 and the easterly side of Lot 95 to inlets on Morris Avenue.

This storm water drainage easement is further described as: Being ten (10) feet in width running parallel to the rear property line of lots 83, 85, 87, 89, 91 & 93. At the intersection of lots 93 and 95 where a catch basin directs waters through a 30 inch RCP in the westerly side of Lot 93 with an easement width of five (5) feet and the easterly side of Lot 95 with an easement width of five (5) feet to inlets on Morris Avenue.

Not Certified Copy

Not Certified Copy

A handwritten signature in black ink, consisting of stylized cursive letters, is located below the diagonal watermark.

RECORD AND RETURN TO:

Lynn Stuart, Trustee
Lynn Stuart Charitable Remainder Uni-Trust II
126 Morris Avenue
Manasquan, New Jersey 08736

Acknowledgment

(DEED ONLY)

STATE OF NEW JERSEY, COUNTY OF MONMOUTH

SS:

I CERTIFY that on MARCH 3RD 2009
LYNN STUART

personally came before me and stated to my satisfaction that this person (or if more than one, each person):

- (a) was the maker of this Deed;
- (b) executed this Deed as his or her own act; and

(c) made this Deed for \$ **1.00** as the full and actual consideration paid or to be paid for the transfer of title. (Such consideration is defined in N.J.S.A. 46:15-5.)



GAIL FALLON
Print name and title below signature

GAIL FALLON
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES JUNE 17, 2009

Not Certified Copy

Acknowledgment

(Deed Only)

STATE OF NEW JERSEY, COUNTY OF MONMOUTH

SS.

I CERTIFY that on MARCH 3RD 2009
LEE MORTON, TRUSTEE of the LYNN STUART CHARITABLE REMAINDER UNI-TRUST I

personally came before me and stated to my satisfaction that this person (or if more than one, each person):

(a) was the maker of the attached deed;

(b) was authorized to and did execute this deed as **TRUSTEE**
of **LYNN STUART CHARITABLE REMAINDER UNI-TRUST I** the entity named in this
deed;

(c) this deed was made for \$ **1.00** as the full and actual consideration paid or to be
paid for the transfer of title (such consideration is defined in N.J.S.A. 46:15-5); and

(d) this Deed was executed as the act of the entity.


(Print name and title below signature)

GAIL FALLON

GAIL FALLON
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES JUNE 17, 2009

Acknowledgment

(Deed Only)

STATE OF NEW JERSEY, COUNTY OF MONMOUTH

SS.

I CERTIFY that on MARCH 3RD 2009
LYNN STUART, TRUSTEE of the LYNN STUART CHARITABLE REMAINDER UNI-TRUST II

personally came before me and stated to my satisfaction that this person (or if more than one, each person):

(a) was the maker of the attached deed;

(b) was authorized to and did execute this deed as TRUSTEE
of LYNN STUART CHARITABLE REMAINDER UNI-TRUST II the entity named in this
deed;

(c) this deed was made for \$ 1.00 as the full and actual consideration paid or to be
paid for the transfer of title (such consideration is defined in N.J.S.A. 46:15-5); and

(d) this Deed was executed as the act of the entity.

Gail Fallon

(Print name and title below signature)
GAIL FALLON

GAIL FALLON
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES JUNE 17, 2009

Not Certified Copy